

|   |   |  |          |
|---|---|--|----------|
| <b>Address:</b>   | 56 and 58, Parliament Hill, London, NW3 2TL   |  | <b>1</b> |
| <b>Application Number(s):</b>   | 2025/3056/P   | <b>Officer:</b> Henry Yeung                          |          |
| <b>Ward:</b>  | Hampstead   |  |          |
| <b>Date Received:</b>   | 10/07/2025  |  |          |
| <b>Proposal:</b>  | Erection of single storey roof extension and alterations to existing roof including the creation of roof terraces across both properties. |  |          |
| <b>Background Papers, Supporting Documents and Drawing Numbers:</b><br><br>Document: Covering Letter; Site Location Plan;<br><br>Existing Drawings: EX-00 P-01; EX-01 P-00; EX-02 P-01;EX-03 P-01;EX-04 P-00;EX-05 P-00;EX-06 P-00;EX-07 P-00;EX-08 P-00;EX-09<br><br>Proposed Drawings: P-00; PA-00 P-02; PA-01 P-02; PA-02 P-02; PA-03 P-03; PA-04 P-02;PA-05 P-02;PA-06 P-03;PA-07 P-02;PA-08 P-02;PA-09 P-02;PA-10 P-02;PA-11 P-02; |   |  |          |
| <b>RECOMMENDATION SUMMARY:</b><br><br><b>Grant Conditional Permission</b>   |   |  |          |
| <b>Applicant:</b>   |   | <b>Agent:</b>  |          |
| Adrian Woolfson and Danielle Lee<br>80-83 Long Lane<br>London<br>EC1A 9ET   |   | SM Planning<br>80-83 Long Lane<br>London<br>EC1A 9ET |          |

## ANALYSIS INFORMATION

| Land use floorspaces |                        |                    |                    |                      |
|----------------------|------------------------|--------------------|--------------------|----------------------|
| Use Class            | Description            | Existing GIA (sqm) | Proposed GIA (sqm) | Difference GIA (sqm) |
| Existing             | Residential (Class C3) | 216.2              | 0                  | 216.2                |
| Proposed             | Residential (Class C3) | 0                  | 294.6              | 294.6                |
| <b>Total</b>         | <b>All uses</b>        | <b>216.2</b>       | <b>294.6</b>       | <b>+78.4</b>         |

## EXECUTIVE SUMMARY

- i) This application relates to Nos. 56 and 58 Parliament Hill, two adjoining four-storey properties with a mix of hipped roofs, towers, and flat roofs, subdivided into seven flats. The site is situated within the South Hill Park Conservation Area and is not listed or locally listed. The surrounding area is predominantly residential and lies within the Hampstead Neighbourhood Plan area.
- ii) Planning permission is sought for alterations to the front elevation, including a modest increase in ridge height and a single-storey roof extension, together with the creation of roof terraces across both properties and the installation of railings to No. 58. The proposals have been revised following the refusal of a previous scheme (ref. 2024/2695/P) and subsequent pre-application advice (ref. 2024/5442/PRE). Key amendments include the reduction of glazing, replaced with solid columns to achieve a more traditional character; the retention of the front ridge height, which is now 0.55 metres lower than in the earlier refused scheme; the reduction in the footprint of the roof extension, with set-backs from the eaves and side elevations; and the retention of the original rear windows to preserve character.
- iii) A number of objections have been received raising concerns about inadequate consultation, the resubmission of a previously refused scheme, and harm to the character and appearance of the South Hill Park Conservation Area. Objectors, including the Hampstead Neighbourhood Forum and the Heath & Hampstead Society, argue that the proposed roof extension would diminish the prominence of the landmark Italian campanile towers, disrupt the established roofline and skyline, and appear visually intrusive from Parliament Hill, Tanza Road and Hampstead Heath. Additional concerns include loss of daylight and privacy, construction noise and disruption, traffic and access issues, structural and fire safety risks, and the inclusion of unauthorised works within the submission. It is argued that approving the scheme would set a damaging precedent for further change within the conservation area from objectors perspective.
- iv) However, the design has been amended to respond sensitively to the architectural integrity of the host buildings and wider townscape. The reduced roof extension is subordinate to the prominent campanile towers and has been stepped back to minimise its visibility in key views. Materials, detailing, and proportions are considered appropriate and will preserve the character and appearance of the conservation area. In terms of amenity, the proposals will not cause unacceptable harm to neighbouring properties. The scheme has been assessed against Camden Local Plan policies and associated guidance, and it is considered that issues relating to daylight, sunlight, overlooking, and sense of enclosure are satisfactorily addressed.
- v) Overall, the proposals represent a high-quality and carefully considered intervention which preserves the character and appearance of the South Hill Park Conservation Area, safeguards residential amenity, and complies with the relevant policies of the Camden Local Plan (2017), the Hampstead Neighbourhood Plan 2025–2040, and the London Plan (2021).

## **OFFICER REPORT**

### **Reason for Referral to Committee:**

The Director of Economy, Regeneration and Investment has referred the application for consideration after briefing members [Clause 3(vii)]. The panel considered it should be heard by committee due to the level of interest in this application from residents and community organisations.

## **1. SITE AND BACKGROUND**

### ***Designations***

- 1.1** This application is a joint submission for Nos. 56 and 58 Parliament Hill. The host properties are each four-storey buildings with a mix of hipped roofs, towers, and flat roofs, subdivided into seven flats across the two properties. The site lies within the South Hill Park Conservation Area and is neither statutorily nor locally listed, but the building makes a positive contribution. The surrounding area is residential in character, and the site falls within the Hampstead Neighbourhood Plan (HNP) area. Policies in the adopted HNP form part of the development plan against which the application must be assessed, while policies in the revised HNP also carry substantial weight. The site is also located within an area which is subject to an Article 4 Direction, meaning that specified permitted development rights are removed and planning permission from the Council.

### ***Description***

- 1.2** Parliament Hill is located within Sub-area 2 of the South Hill Park Conservation Area, together with Tanza Road and Parliament Hill. This part of the conservation area is characterised by substantial semi-detached villas, the majority designed in the Gothic Revival style. Nos. 56 and 58 Parliament Hill form part of a group of Italianate houses, including Nos. 29–39 Tanza Road and Nos. 62–68 Parliament Hill. The pair are distinctive in their design, featuring prominent corner towers inspired by the campanile of medieval Italian architecture, a form popularised in the mid-19th century at Osborne House on the Isle of Wight. The upper storey fenestration of these towers reflects the traditional open belfries of Venetian campaniles. Together with other 19th-century buildings in the area, Nos. 56 and 58 Parliament Hill are recognised as making a positive contribution to the character and appearance of the conservation area. Their prominent siting at the junction of Parliament Hill and Tanza Road means that both front and rear elevations are visible and play an important role in shaping the appearance and significance of the wider streetscape.

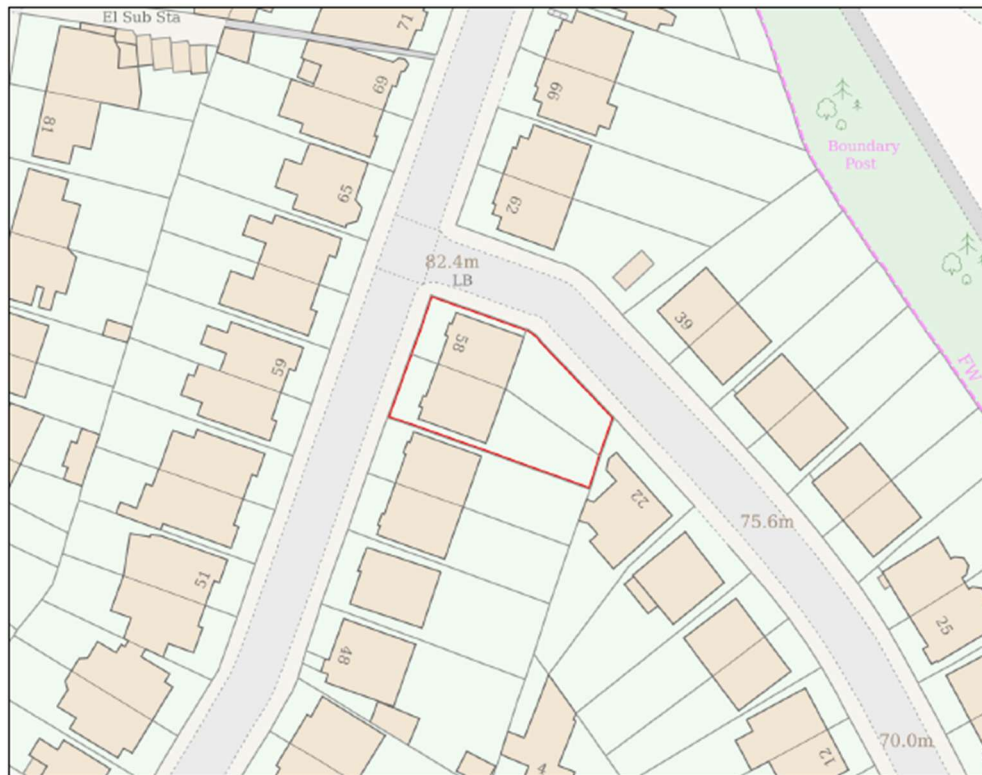


Figure 1 – Site location outlined in red

- 1.3** The application site at Nos. 56–58 Parliament Hill has a Public Transport Accessibility Level (PTAL) rating of 3, indicating moderate access to public transport. The properties are located within walking distance of Hampstead Heath Overground and Belsize Park Underground stations, as well as bus services operating along South End Road.

## 2. THE PROPOSAL

*Planning permission is sought for the following works*

- 2.1** Planning permission is sought for alterations and the raising of the roof height to the front elevation of the property, together with the erection of a single-storey roof extension. The proposal also includes the creation of roof terraces across both properties and the installation of railings to the frontage of No. 58.
- 2.2** The proposed design has been developed to respond to both the architectural character of the host building and the surrounding townscape. The scheme ensures that the roof alterations, extension, and associated works are sympathetic in scale and appearance, while the new railings complement the property and wider street scene without adversely impacting neighbouring amenity.
- 2.3** The current scheme varies from the previously refused scheme ref. 2024/2695/P following pre-application advice. In this revised version, extensive glazing has been removed and replaced so that the extension is

now solid, constructed in brickwork and hanging tiles along the rear and side elevations, presenting a more traditional appearance that respects the conservation area. The ridge height of the front roof slope is retained, reduced by 0.55 metres compared with the earlier refused drawings, helping the extension appear more subservient and ensuring that the towers remain prominent and significant features. The footprint of the roof extension has also been reduced, with the structure set back at 1.9m from the rear eaves, and 1.5 metres from the side boundary. In addition, the rear windows are to be retained in their existing form to preserve the original character of the building. The roof terrace will also be retained, with the glazing replaced as part of the works/

## RELEVANT HISTORY

### 3. THE SITE

- 3.1 2013/2370/P “Replacement of all aluminium windows to front and rear elevation (Class C3).” 08-05-2013, **Granted**.
- 3.2 2023/3642/P “Flat 2nd And 3rd Floor 58 Parliament Hill London NW3 2TL Building works (brickwork and fencing on the north elevation of the roof terrace) were substantially completed more than four years before the date of this application.”03-10-2023, **Granted**.
- 3.3 2021/5438/P “Flat 2nd And 3rd Floor 58 Parliament Hill London NW3 2TL” “Retention of existing fencing around the third-floor roof terrace”.09-06-2022, **Refused and Warning of Enforcement Action to be Taken**
- 3.4 2024/2695/P “Top floor flats of 56 and 58 Parliament Hill London NW3 2TL” Alterations to including raising the height of the front roofslopes, erection of a single-storey roof extension, replacement of second-floor rear elevation windows, and installation of railing on no.58. 03-07-2024, **Refused**

#### *Reasons for refusal:*

- 1) *The proposed alterations at roof level including the changes to the front roofslope and the extension by reason of their inappropriate bulk, scale, massing and detailed design would cause harm to the architectural composition of the host building and the character and appearance of the South Hill Park Estate Conservation Area, contrary to policies D1 (Design) and D2 (Heritage) of the London Borough of Camden Local Plan 2017, DH1 and DH2 of the Hampstead Neighbourhood Plan 2018.*
- 2) *The replacement second floor windows due to their size and detailed design would cause harm to the architectural composition of the host building and the character and appearance of the South Hill Park Estate Conservation Area,*

*contrary to policies D1 (Design) and D2 (Heritage) of the London Borough of Camden Local Plan 2017, DH1 and DH2 of the Hampstead Neighbourhood Plan 2018*

*refused drawings are listed below:*



Figure 2: Proposed Front elevation from previous refusal scheme (2024/2695/P)



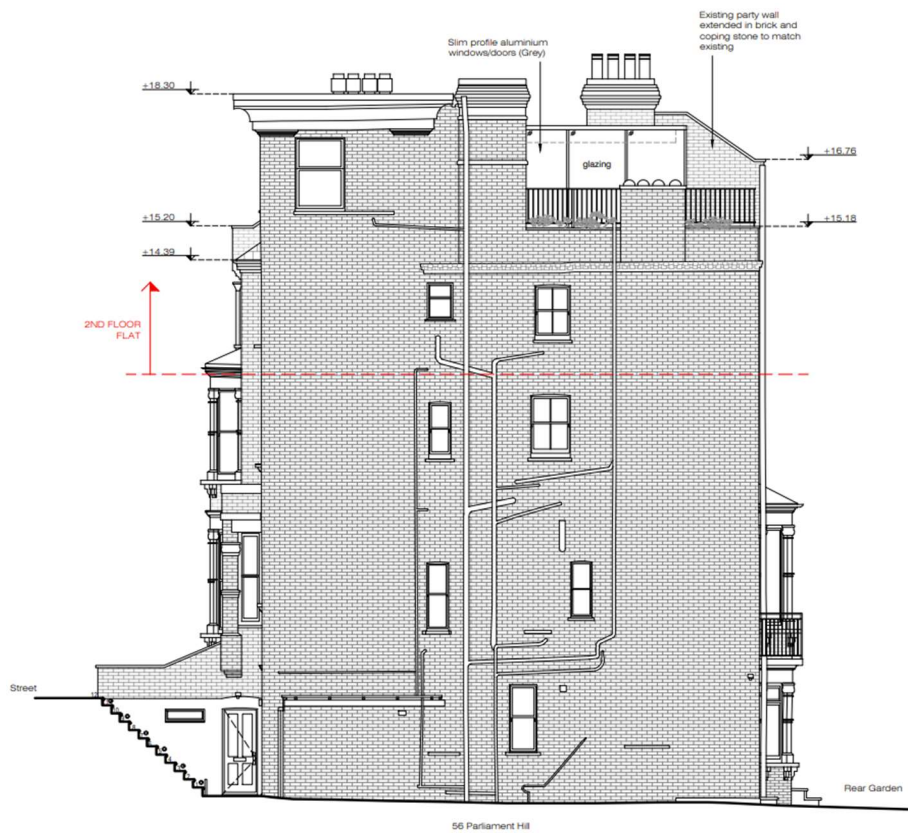


Figure 3: Proposed Side elevation from previous refusal scheme (2024/2695/P)

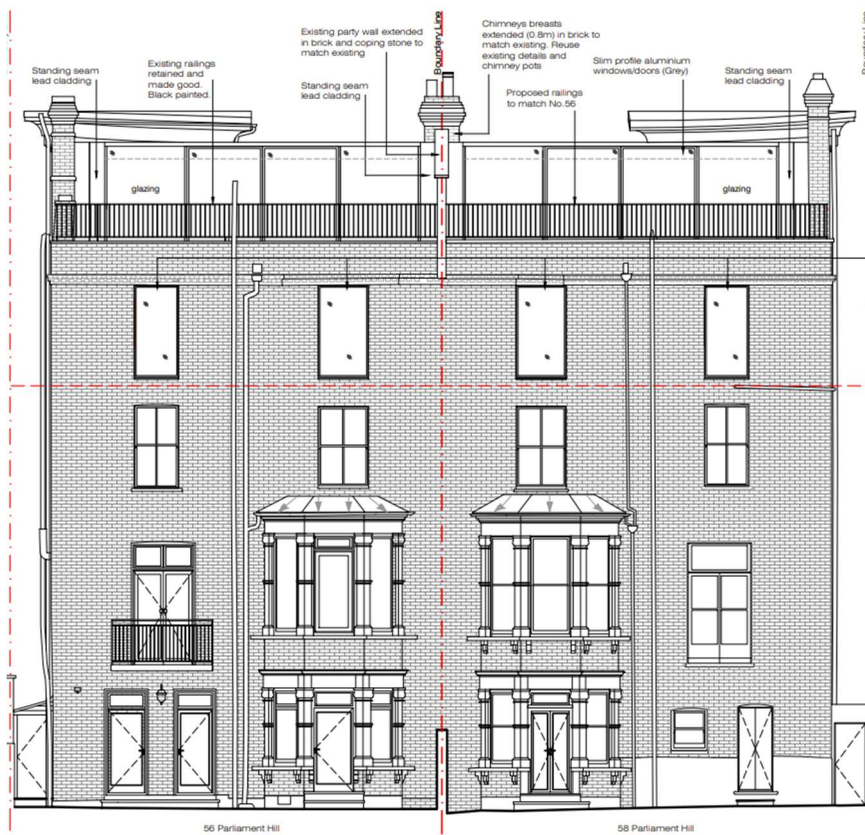


Figure 4: Proposed Rear elevation from previous refusal scheme (2024/2695/P)

### Neighbouring Properties

- 3.5** 2004/2607/P 46 Parliament Hill London NW3 2TL The conversion of the roofspace for additional habitable floorspace to the top floor flat, with the associated erection of a rear dormer roof extension with inset roof terrace, and the insertion of two conservation roof lights in the front roof slope. 29-06-2004, **Granted**
- 3.6** 2009/1628/P 52 Parliament Hill London NW3 2TL Erection of a rear roof extension with two dormer windows and the erection of railings to the flat roof above the proposed rear lower ground floor rear extension (as per certificate of lawfulness 2008/4797/P) to a single-family dwelling house (Class C3). 30-04-2009, **Granted**
- 3.7** 2009/1624/P 54 Parliament Hill London NW3 2TL Erection of a rear roof extension with two dormer windows and the erection of railings to the flat roof above the proposed rear lower ground floor rear extension (as per certificate of lawfulness 2008/4799/P) at single dwelling house. 30-04-2009, **Granted**

## **4. CONSULTATION**

### ADJOINING OCCUPIERS

- 4.1** SITE NOTICES WERE DISPLAYED ON THE 17/07/2025 AND EXPIRED ON THE 10/08/2025. A PRESS NOTICE WAS ADVERTISED ON 24/07/2025 AND EXPIRED ON 17/08/2025.
- 4.2** The 22 objections to the planning application for 56 and 58, Parliament Hill, London (Ref: 2025/3056/P) primarily concern the proposed roof extension. The key points raised are:
- 4.3** Procedural & Consultation Concern- There was no direct notification to the co-freeholders at No. 58, and only a poorly placed yellow street notice was provided, which was primarily visible to motorists rather than pedestrians. There is also a perception that the resubmission of the scheme, following the refusal in September 2024 (ref. 2024/2695/P), is attritional and undermines confidence in the planning process.

### Officer response

*The statutory consultation process has, however, been carried out in accordance with Camden's Statement of Community Involvement, including the display of site notices and the publication of a press advertisement. All relevant stakeholders have therefore had the opportunity to comment, and the process has followed the guidelines set out in the Local Plan policy.*



- 4.4** Conservation & Heritage Harm—Nos. 56 & 58 are positive contributors within South Hill Park Conservation Area; defined by uniform roofscape and distinctive Italianate “campanile” corner towers. Proposal raises the ridge, infills between towers, and adds box-like mass/railings, creating an alien, fortress-like roof form visible from Parliament Hill, Tanza Road, and Hampstead Heath (and more apparent at night due to glazing).

Officer response

*Policy DH1 requires proposals to respect local character and respond positively to surrounding scale, massing and materials. Policy DH2 of the Hampstead Neighbourhood Plan requires regard to Conservation Area Appraisals and the protection of positive contributors. The revised proposals are consistent with these policies. The ridge increase remains subservient to the eaves of the towers, preserving their visual prominence, while the reduced footprint and stepped-back design significantly lessen bulk and visibility compared to the refused scheme. Use of hanging tiles and brickwork to match the existing building ensures the extension integrates with the host property. Section drawings confirm that the extension would not be directly visible from the street, and the impact on the skyline is negligible.*

- 4.5** Street Scene, Architectural Integrity & Skyline—The towers are landmark bookends; infill/raised ridge diminishes their silhouette, risking they read as “stumps” rather than proud features. Long-term residents emphasise decades of consistent façades and a harmonious vista; the proposal “jumbles heights and materials” and damages the skyline. Multiple residents: scheme is “ugly / jarring / a mess”, totally out of character and would be one of the most visually intrusive roof extensions locally.

Officer response

*While the property occupies a prominent corner of Parliament Hill and Tanza Road, the proposed development is proportionate and integrates successfully into the streetscape. The setback from the eaves prevents the extension from appearing overly dominant. The high standard of design and materials reinforces the architectural variety and interest within the conservation area and respects the Gothic character described in the South Hill Park Estate Conservation Area Statement.*

- 4.6** Amenity: Light, Privacy, Outlook, Noise Objectors raise concerns about the loss of daylight and sky views for homes opposite, particularly Nos. 55 and 63, together with direct overlooking from the proposed terraces and additional glazing, as well as potential light pollution at night. They also highlight construction-related impacts, including prolonged scaffolding occupying gardens, alleys and patios (with particular disruption to the ground and basement flats at No. 58), as well as dust, debris and severe noise affecting residents who work from home in the civil service and NHS.

In addition, specific health concerns have been raised, noting that a co-freeholder with moderate to severe hearing loss would experience acute distress from construction noise.

Officer response

*Policy DH1 requires the protection of amenity and privacy. The proposed extension, given its setback and design, will not materially harm daylight, outlook or privacy. There is a substantial distance between the new openings and the neighbouring properties; therefore, no overlooking issues will arise. The use of modest, well-aligned fenestration and sensitively designed railings ensures that the scheme does not result in harm. An appropriate informative has been added to remind the applicant that construction of the extension must accord with environmental requirements and should be carried out in a manner that minimises noise and other impacts on neighbouring occupiers' overlooking or an overbearing impact on neighbouring occupiers.*

- 4.7** Traffic, Access & Public Realm During Works Parliament Hill/Tanza Road are narrow/single-lane; HGVs, skips and deliveries risk gridlock, worse air quality, and impeding emergency vehicles (incl. access to Royal Free) Increased risks for elderly residents and general pedestrian safety given heavy footfall to the Heath

Officer response

*Construction-related impacts, including traffic and noise, are temporary and can be addressed by informative, ensuring compliance with Policy A1. In terms of a CMP and the associated contribution and bond, it is acknowledged that the site is located within a CMP priority area (Hampstead). However, the Council's transport team were consulted, and they considered the proposed works to be relatively modest in scale and would involve scaffolding and the delivery and removal of materials. These deliveries can be managed from the parking bays adjacent to the site on Parliament Hill and Tanza Road. On balance, it is considered that the proposals can proceed without the need for a CMP.*

- 4.8** Structural, Subsidence & Fire Safety Risks- Objectors highlight the potential for heightened subsidence risk due to Camden's clay soils and the additional load from the proposed works. Concerns are also raised about unauthorised roof accretions at No. 58, such as raised walls, screens and brickwork, which have already increased the structural weight, with fears that the current proposal seeks to capitalise on these works. In addition, it is noted that no Construction Management Plan has been provided, contrary to Policy A1. Fire safety concerns are also raised, with the absence of a D12 Fire Statement or RES despite the introduction of a roof-level kitchen increasing fire load

Officer response

*Any structural or fire safety matters are addressed separately under Building Regulations and do not form grounds for refusal of planning permission. As outlined above a CMP is not required for this development*

- 4.9** Accuracy of Plans, Legality & Precedent- Objectors argue that the historic cast-iron railings at No. 58 have been omitted or misrepresented in the application, despite being in good condition and documented repair costs dating back to 1995. Concerns are also raised about the timber fence on Tanza Road, with objections asserting that it lacks four-year immunity and that the certificate history is misleading, requesting that lawful pre-existing drawings be required. The Authentic Futures report further notes alleged unauthorised accretions and the absence of an approval trail for the railings at No. 56. It is contended that allowing the scheme in its current form would effectively reward unauthorised works and set a damaging precedent.

Officer response

*The application has been submitted with supporting plans and evidence. The Council has already granted lawful development certificates for certain works, confirming their lawfulness. The current application is assessed on its own merits, with revisions made specifically to address the concerns raised previously.*

- 4.10** The following concerns was raised by The Hampstead Neighbourhood Forum.

Hampstead Neighbourhood Forum objects to planning application 2025/3056/P for 56–58 Parliament Hill on the grounds that it conflicts with the revised Hampstead Neighbourhood Plan 2025, which strengthens protection for established rooflines and architectural features within conservation areas. The Forum argues that the proposal, by raising the roof ridge, infilling between the distinctive campanile towers, and adding bulk and massing, would cause harm to the character and appearance of the South Hill Park Conservation Area and fail to respect the landmark qualities of these villas. It is described as visually intrusive, unsympathetic, and a damaging precedent for further incremental change, undermining protections for Hampstead's built environment. Concerns are also raised that unauthorised works have been inaccurately presented within the submission, which is considered misleading. For these reasons, the Forum urges Camden Council to refuse the application.

Response to Hampstead Neighbourhood Forum Objection

*The objections raised by the Hampstead Neighbourhood Forum to application 2025/3056/P have been carefully considered. However, the revised scheme has been designed in accordance with national, local, and neighbourhood planning policies, and it directly addresses the concerns raised in the previously refused application. As discussed in Section 7 of this report, the extension's impact on both the application site and the wider South Hill Park Conservation Area has been fully assessed.*

*In relation to the front fence (behind the front roof slope facing and running parallel to Parliament Hill), documented correspondence with the London Borough of Camden dates back more than ten years. Similarly, regarding the fence erected on the flank elevation adjacent to Tanza Road, detailed documentation, including material dating back to 2008, was provided as part of a successful certificate of lawful development application (Ref: 2023/3642/P). Although the application was submitted by the current owner of 58 Parliament Hill, the works were originally carried out by a previous owner. The delegated report for that application concluded that, on the balance of probability, the brickwork and fencing on the northern elevation of the existing roof terrace had been completed more than four years before the relevant date of 3 September 2019. Consequently, these works were granted lawful status*

#### **4.11** The following concerns was raised by Heath & Hampstead Society.

Similarly, the Heath & Hampstead Society objects to application 2025/3056/P for the same property, emphasising that the application contains misleading information about the building's existing condition. In particular, the inclusion of a roof screen/trellis on No. 58 as part of the "existing" fabric is strongly disputed, as objectors claim this was erected without permission and is not evident in historic aerial photographs dating from 2015. Previous refusals and enforcement history are also cited. The Society further argues that the additional volume, although reduced from the earlier 2024/2695/P scheme, remains excessive and harmful given the building's distinctive turrets and lower roofline compared to neighbouring properties. The proposed extension, which is around 450mm higher than the current ridge, is considered visible from Parliament Hill, Tanza Road, and the Heath, and therefore fails to preserve or enhance the conservation area. The Society also criticises the applicant's retrospective approach to unauthorised works, describing it as misleading, and calls for refusal of the application, enforcement action to remove the unlawful trellis, and for any future roof extension to be redesigned at a lower level to mitigate harm.

#### Response to Heath and Hampstead Society Objection

*The objections raised by the Heath and Hampstead Society to application 2025/3056/P have been carefully considered. However, the revised scheme has been designed in accordance with national, local and neighbourhood*

*planning policies, and it addresses the concerns identified in the previously refused application. As set out in Section 7 of this report, the impact of the extension on both the application site and the wider South Hill Park Conservation Area has been fully assessed.*

*With regard to the roof screen or trellis referenced by the Society, detailed documentation, including records dating back to 2008, was submitted in relation to fencing erected on the flank elevation adjacent to Tanza Road as part of a successful certificate of lawful development application (Ref: 2023/3642/P). Although the application was submitted by the current owner of 58 Parliament Hill, the works were originally undertaken by a previous owner. The delegated report for that application concluded that, on the balance of probability, the brickwork and fencing on the northern elevation of the existing roof terrace had been in place for more than four years before the relevant date of 3 September 2019. These works were therefore granted lawful status.*

## **5. POLICY**

### ***National and regional policy and guidance***

National Planning Policy Framework 2024 (NPPF)

National Planning Practice Guidance (NPPG)

London Plan 2021 (LP)

### ***Local policy and guidance***

Camden Local Plan (2017) (CLP)

*Policy A1 Managing the impact of development*

*Policy A3 Biodiversity*

*Policy CC1 Climate change mitigation*

*Policy CC2 Adapting to climate change*

*Policy D1 Design*

*D2 Heritage*

*H3 Protecting existing homes*

Hampstead Neighbourhood Plan 2025-2040

*Policy DH1 Design*

*Policy DH2 Conservation areas and listed buildings*

*Policy NE3 Biodiversity corridors*

*Policy NE4 Supporting biodiversity*

Camden Planning Guidance (2021)

*CPG Amenity*

*CPG Design*

*CPG Home Improvements*

South Hill Park Estate Conservation Area Appraisal and Management Strategy (2001)

Draft Camden Local Plan (DCLP)

The council published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation in January 2024. Responses to the consultation and a [Submission Draft Camden Local Plan](#) (updated to take account of the responses) was reported to Cabinet on 2 April 2025 and the Council on 7 April 2025. The Council resolved to agree the Submission Draft Local Plan for publication and submission to the government for examination following a further period of consultation.

The Council has published the Camden Local Plan Proposed Submission Draft for consultation. The consultation closed on Friday 27 June 2025.

The Submission Draft is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

## **6. ASSESSMENT**

- 6.1** The principal considerations material to the determination of this application are considered in the following sections of this report:

|           |                                       |
|-----------|---------------------------------------|
| <b>7</b>  | <b>Design and Conservation</b>        |
| <b>8</b>  | <b>Impact on neighbouring amenity</b> |
| <b>9</b>  | <b>Biodiversity Net Gain</b>          |
| <b>10</b> | <b>Conclusion and Recommendations</b> |
| <b>11</b> | <b>Planning Conditions</b>            |
| <b>12</b> | <b>Planning Informatives</b>          |

## 7. DESIGN AND CONSERVATION

### Legislative Background and Statutory Framework

- 7.1 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, local planning authorities must give special attention to the desirability of preserving or enhancing the character or appearance of conservation areas.
- 7.2 Section 66 of the same Act, as amended by the Enterprise and Regulatory Reform Act 2013, requires that special regard is given to preserving listed buildings, their settings, and any features of special architectural or historic interest.
- 7.3 This legislative framework creates a strong presumption in favour of preserving the character and appearance of conservation areas. Where proposals result in harm, such harm must be justified by public benefits that are sufficiently compelling to outweigh this presumption. The National Planning Policy Framework (NPPF), in particular Chapter 16, provides guidance on assessing harm to heritage assets and the weight to be afforded to such impacts.
- 7.4 These statutory duties operate alongside the requirement under Section 38(6) of the Planning and Compulsory Purchase Act 2004 to determine planning applications in accordance with the development plan unless material considerations indicate otherwise.
- 7.5 The NPPF is a key material consideration. Chapter 16 ("Conserving and enhancing the historic environment") sets out the Government's approach to heritage protection. It requires local planning authorities to identify and assess the particular significance of any heritage asset affected by a proposal. It further directs how harm to designated heritage assets should be evaluated and weighed against any public benefits of the proposal (see NPPF Paragraphs 212–215). Paragraph 215 notes:

*"Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use."*

### Policy Review

- 7.6 The London Plan (2021) includes Policy D1, which emphasizes the importance of understanding London's form, character, and capacity for



growth. It advocates for area assessments to define the characteristics and qualities of different places, ensuring that development responds appropriately to local context. Policy D4 focuses on delivering good design, requiring developments to be of the highest quality, respect local context, and be inclusive and accessible.

- 7.7** The Camden Local Plan (2017) includes Policy D1, which seeks high-quality design that responds to context and local character. Policy D2 aims to preserve and enhance heritage assets and their settings.
- 7.8** The Hampstead Neighbourhood Plan includes Policies DH1 and DH2, which require development to respect the history and character of Hampstead and be consistent with conservation area guidance. These policies collectively guide the assessment of the proposal, ensuring that it aligns with the established character and heritage of the Hampstead Conservation Area.
- 7.9** Policy DH1 supports development that enhances the distinctiveness and heritage of character areas while helping to address climate change through high-quality design and landscaping. Proposals must be sympathetic to existing building lines, garden features, rooflines, and materials. Extensions and dormers must be modest, subservient, and sensitively designed to preserve architectural character. Proposals must also protect neighbouring privacy and amenity, maintain garden views and spaces between buildings, and avoid visual harm. Proposals that fail to respect or enhance the character and function of the area will not be supported.
- 7.10** Policy DH2 requires development within Conservation Areas to follow the guidance in the relevant Conservation Area Appraisals and Management Strategies. Proposals should aim to enhance the character of the area by protecting and, where appropriate, restoring original architectural features such as walls, windows, and doors. Development should also protect or enhance buildings and elements like boundary walls that make a positive contribution to the Conservation Area.

### Designations

- 7.11** The following section discusses the relevant designated heritage assets as far as is relevant to the context of the application, before considering how the significance of these assets would be impacted by the proposals.
- 7.12** The site lies within the South Hill Park Conservation Area and is neither statutorily listed nor locally listed. Parliament Hill is located within Sub-area 2 of the South Hill Park Conservation Area, together with Tanza Road. This part of the conservation area is characterised by substantial semi-detached villas, the majority designed in the Gothic Revival style. Nos. 56 and 58 Parliament Hill form part of a group of Italianate houses, including Nos. 29–

39 Tanza Road and Nos. 62–68 Parliament Hill. Their prominent siting at the junction of Parliament Hill and Tanza Road means that both front and rear elevations are visible and play an important role in shaping the appearance and significance of the wider streetscape.

### Assessment



*Figure 5: Propose Front elevation from current scheme (2025/3056/P)*

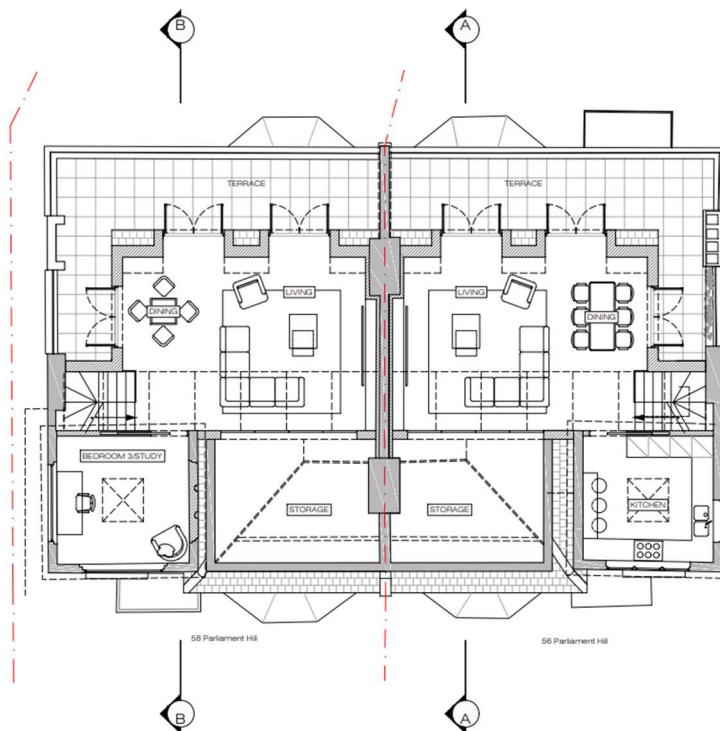


*Figure 6: Propose Rear elevation from current scheme (2025/3056/P)*

- 7.13** The front elevation will be finished in hanging tiles to match the existing roof, reinforcing continuity with the host building. The scale remains subservient to the campanile towers, safeguarding their prominence and architectural integrity, while respecting the character of the surrounding conservation area through the use of materials consistent with those existing. The proposed roof-level railings are modest in form and appropriately scaled, adding subtle articulation without unbalancing the composition. To the rear, the new rear-facing windows from the rear extension are proportionate to the façade and align with the building's architectural rhythm, improving internal daylighting while remaining sympathetic to the overall design. Although these changes will alter the existing appearance, the overall character will remain coherent with the street scene, resulting in only a minor visual impact on the conservation area. The proposed alterations are therefore considered to preserve the character and appearance of the conservation area.
- 7.14** The proposal includes a full-width roof extension measuring 4m in depth, 15m in length and 2.3m in height incorporating a modest 0.45m front ridge height increase, together with black-painted railings and areas of brickworks arranged within a box-form design to introduce a traditional element. Importantly, the ridge increase remains well below the eaves of the adjacent campanile towers, ensuring they continue to read as the dominant features of the composition. By stepping the extension back 1.5m from the side and 1.9m from the rear (approximately 0.5m further than the refused scheme), the footprint has been reduced, lessening its bulk, massing, and visibility.

Section drawings confirm that the extension would not be directly visible from the street, thereby minimising its overall impact on the wider conservation area. The application has been assessed against Camden Local Plan Policy A1 (Managing the Impact of Development) and Policies DH1 and DH2 of the Hampstead Neighbourhood Plan. The design has been carefully considered to respect the local context and to preserve the visual prominence of the campanile towers. Roof extensions of varying forms are present on nearby properties, and the proposed addition would not appear out of keeping within the wider streetscape.

- 7.15** The proposed extension is modest in scale and stepped back from the eaves to ensure a subservient appearance. Its form, materials, and detailing have been designed to avoid a bulky or overbearing presence when viewed from the public realm. While the property occupies a prominent corner position at the junction of Parliament Hill and Tanza Road, the degree of setback ensures that the extension reads as a modest and subordinate addition rather than an intrusive feature. The design strikes a balance between contemporary interpretation and traditional character, sitting comfortably within a streetscape that contains both historic properties and sensitively designed modern interventions.



*Figure 7: Propose Third Floor Plan from current scheme (2025/3056/P)*

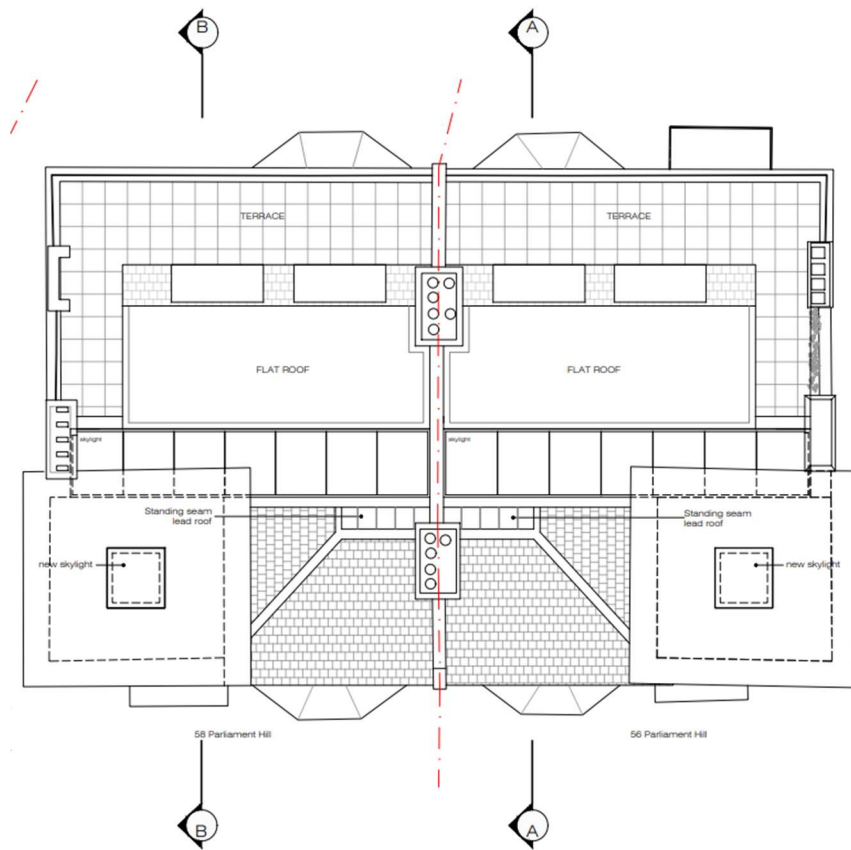


Figure 8: Proposed Roof Plan from current scheme (2025/3056/P)

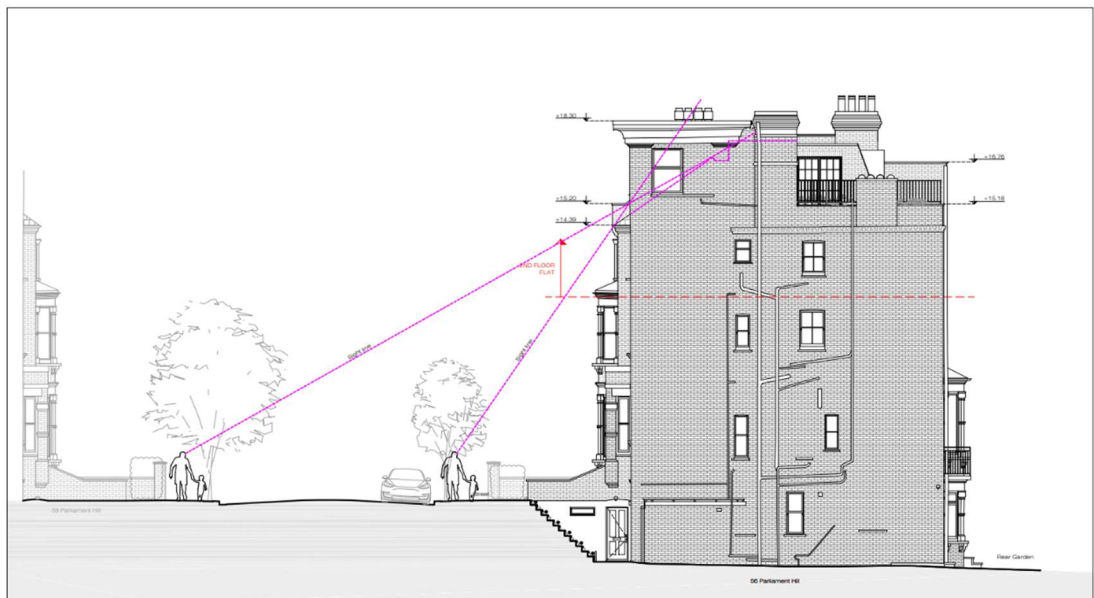


Figure 9: Proposed Street view from Parliament Hill (2025/3056/P)

**7.16** The existing roofscape of Nos. 56–58 Parliament Hill is defined by the prominent campanile towers, with the current roof profile sitting somewhat irregularly between them. The proposed extension provides a more coherent and unified appearance, enhancing the overall architectural composition of the building while preserving the dominance of the towers.

The integrated roof terrace is carefully incorporated into the structure, maintaining the proportions of the host building and the established rhythm of the façades. Given its modest scale, discreet siting, and sympathetic detailing, the terrace is not expected to have any adverse impact on the character of the building or the wider conservation area.

- 7.17** The revised roof profile will be perceptible in certain views, particularly when looking southeast towards the property. However, the modest 0.45-metre increase in height ensures the extension remains subordinate within the streetscape and consistent with the varied roofscape characteristic of the South Hill Park Conservation Area and Parliament Hill. The minor increase will not detract from the setting or appreciation of positive contributor buildings nearby, and the removal of the existing irregular roof form will not harm the building's architectural integrity. Instead, the detailed design introduces a sympathetic addition that respects established proportions and employs materials that complement the host property. This approach accords with Policy DH1 of the Hampstead Neighbourhood Plan, which requires development to respond positively and sympathetically to the rhythm, proportions, height, scale, massing, materials, and storey heights of surrounding buildings. Overall, the proposed extension is modest, well-proportioned, and reinforces the established character of the area rather than disrupting it.

### Conclusion

- 7.18** The proposed roof extension and associated alterations represent a sensitive and proportionate form of development that preserves the character and appearance of the South Hill Park Conservation Area. The scheme has been designed to respond positively to the local context, with careful consideration given to scale, materials, and detailing to ensure the extension remains subordinate to the host building and visually coherent within the wider streetscape. While introducing modest changes to the roof form and elevations, the proposals do not result in harm to the conservation area. Instead, they maintain the positive contribution of the host building and enhance its overall coherence and legibility. In summary, the proposals are considered to comply with Camden Local Plan Policies D1 (Design) and D2 (Heritage), Policies DH1 and DH2 of the Hampstead Neighbourhood Plan 2025–2040, the London Plan 2021, and the National Planning Policy Framework 2024. It is therefore recommended that planning permission be granted.

## **8. IMPACT ON NEIGHBOURING AMENITY**

- 8.1** Policy A1 aims to safeguard the quality of life for both occupiers and neighbours by permitting development only where it would not adversely affect neighbouring amenity. This protection covers privacy, outlook, noise, and daylight/sunlight impacts.



- 8.2** The proposed roof extension at Nos. 56–58 has been carefully assessed in relation to neighbouring fenestration. The top-floor side elevation of No. 54 contains two windows: a smaller obscure-glazed window serving a bedroom and a larger window serving the staircase and landing. Given their function and orientation, the proposed extension would not result in any undue loss of daylight or sunlight to neighbouring habitable rooms. Accordingly, the scheme has been designed to avoid adverse amenity impacts in terms of light or outlook.



Figure 10: Photo of No. 54's side fenestration

- 8.3** The property is located within a predominantly residential setting, and the proposal has been designed to ensure that it does not adversely affect



neighbouring properties in terms of sunlight, daylight, sense of enclosure, or noise. The distance and orientation of the new roof form in relation to neighbouring windows ensures that there will be no harmful overlooking or loss of privacy. As such, there is no increased potential for overlooking or loss of outlook to neighbouring properties. This means that this part of the development will not cause any material amenity impacts such as overlooking, loss of privacy, or reduction in outlook or light for adjacent residents. In summary, the proposed front alterations and bay window extension have been carefully considered to avoid adverse impacts on neighbouring amenity, ensuring that the development is both respectful of and compatible with the surrounding properties.

- 8.4** The proposed top-floor terrace will continue to be used in the same manner as existing and does not introduce any new or intensified use. As such, it will not give rise to any further harm to neighbouring privacy beyond the current established situation. The arrangement ensures that no additional opportunities for overlooking are created, and the existing relationship with adjoining properties remains unaffected. With regard to potential noise and disturbance, all elements of the proposed development, including the roof terrace, are intended for use by the household only. This inherently limits the number of users at any given time. Consequently, any noise generated would be minimal and consistent with the level of activity typically expected in a residential setting.
- 8.5** In summary, the roof extension has been sensitively designed to respect neighbouring amenity and avoid material harm. The development would not result in overlooking, loss of privacy, or undue enclosure, nor would it reduce the level of daylight or sunlight enjoyed by adjacent occupiers. Consequently, the proposals are considered acceptable in amenity terms, in accordance with Policy A1 of the Local Plan.

## **9. BIODIVERSITY**

- 9.1** Camden Local Plan Policies CC1 and CC2 set out the Council's approach to sustainable development, aiming to address climate change through mitigation and adaptation measures. Policy CC1, titled 'Climate Change Mitigation,' focuses on reducing carbon emissions associated with new developments. It encourages the use of energy-efficient building designs, renewable energy sources, and low-carbon technologies. The policy also promotes the reuse of existing buildings and materials to minimize embodied carbon and supports the implementation of sustainable construction practices. Policy CC2, 'Adapting to Climate Change,' addresses the need for developments to be resilient to the impacts of climate change. It advocates for measures such as sustainable drainage systems, water efficiency, and the integration of green infrastructure to manage surface water flooding and enhance biodiversity. The policy also

encourages the design of buildings and public spaces that can adapt to changing climatic conditions, ensuring long-term sustainability.

- 9.2** The current proposal relates solely to a roof extension at the top floor of the building. As the works are confined to the upper levels, there will be no loss of garden space or further impact on existing green areas. The existing rooftop terrace is already paved, and therefore the development does not result in any additional reduction of green space or biodiversity value.
- 9.3** While the statutory requirement for Biodiversity Net Gain (BNG) seeks measurable improvements in biodiversity compared to the pre-development baseline, such requirements are subject to exemptions and transitional provisions. Biodiversity net gain (BNG) is an approach to development that requires new developments to result in a measurable increase in biodiversity compared to the pre-development baseline. However, there are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply
- 9.4** Although the statutory requirement for Biodiversity Net Gain (BNG) came into effect for small sites on 2 April 2024, there are specific exemptions and transitional provisions that apply. This proposal is below the de minimis threshold, as it does not affect any onsite priority habitat, impacts less than 25 square metres of habitat with measurable biodiversity value, and affects less than 5 metres of linear habitat. As such, the BNG requirement is not triggered in this case. An informative will be attached to the decision to confirm this to the applicant.

## **10. CONCLUSION**

In conclusion, the proposed roof extension and associated alterations are modest in scale and have been designed to respond sensitively to the character of the host building and the surrounding context. The works will enhance the appearance of a property that currently makes a positive contribution to the South Hill Park Conservation Area, thereby preserving its overall character and appearance. By virtue of the form and siting of the extension in relation to neighbouring properties, the development would not give rise to any undue harm to residential amenity. The scheme therefore complies with Policies A1 (Managing the Impact of Development), D1 (Design), and D2 (Heritage) of the Camden Local Plan 2017. The proposals also align with the Hampstead Neighbourhood Plan 2025–2040, Camden Planning Guidance on roof extensions, the South Hill Park Conservation Area Statement (2011), the London Plan 2021, and the National Planning Policy Framework 2024. It is therefore recommended that planning permission be granted, subject to appropriate conditions

## 11. RECOMMENDATION

### Grant Conditional Permission

## 12. CONDITIONS

### Standard conditions

#### 1 Time limit

The development hereby permitted must be begun not later than three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

#### 2 Approved drawings

The development hereby permitted shall be carried out in accordance with the following approved plans:

Document: Covering Letter; Site Location Plan;

Existing Drawings: EX-00 P-01; EX-01 P-00; EX-02 P-01; EX-03 P-01; EX-04 P-00; EX-05 P-00; EX-06 P-00; EX-07 P-00; EX-08 P-00; EX-09

Proposed Drawings: P-00; PA-00 P-02; PA-01 P-02; PA-02 P-02; PA-03 P-03; PA-04 P-02; PA-05 P-02; PA-06 P-03; PA-07 P-02; PA-08 P-02; PA-09 P-02; PA-10 P-02; PA-11 P-02;

Reason: For the avoidance of doubt and in the interest of proper planning.

#### 3 Design: Materials to match existing

All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and Policy DH1, Policy DH2 of the Hampstead Neighbourhood Plan 2025-2040.

## 13. INFORMATIVES

|   |  |
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| 1 | Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning |
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|   | Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.   |
| 2 | Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).   |
| 3 | <p>All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <a href="https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319">https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319</a> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)</p> <p>Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.</p> |
| 4 | This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.  |
| 5 | <p>Biodiversity Net Gain (BNG) Informative (1/3):</p> <p>The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:</p>   |

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|   | <p>(a) a Biodiversity Gain Plan has been submitted to the planning authority;; and<br/>(b) the planning authority has approved the plan.</p> <p>The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.</p> <p>There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.</p> <p><b>Based on the information provided, this will not require the approval of a BGP before development is begun because it below the de minimis threshold.</b></p>  |
| 6 | <p>Biodiversity Net Gain (BNG) Informative (2/3):</p> <p>+ Summary of transitional arrangements and exemptions for biodiversity gain condition</p> <p>The following are provided for information and may not apply to this permission:</p> <ol style="list-style-type: none"> <li>1. The planning application was made before 12 February 2024.</li> <li>2. The planning permission is retrospective.</li> <li>3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.</li> <li>4. The permission is exempt because of one or more of the reasons below:</li> </ol> <ul style="list-style-type: none"> <li>- It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.</li> <li>- It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).</li> <li>- The application is a Householder Application.</li> <li>- It is for development of a "Biodiversity Gain Site".</li> <li>- It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists</li> </ul> |

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|   | <p>exclusively of dwellings which are Self-Build or Custom Housebuilding).</p> <p>- It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).</p>  |
| 7 | <p>Biodiversity Net Gain (BNG) Informative (3/3):</p> <p>+ Irreplaceable habitat:</p> <p>If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.</p> <p>+ The effect of section 73(2D) of the Town &amp; Country Planning Act 1990</p> <p>If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.</p> <p>+ Phased development</p> <p>In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.</p> |

# Planning Committee

10<sup>th</sup> October 2025

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## 2025/3056/P

56 and 58, Parliament Hill, London,  
NW3 2TL

Erection of single storey roof  
extension and alterations to existing  
roof including the creation of roof  
terraces across both properties.

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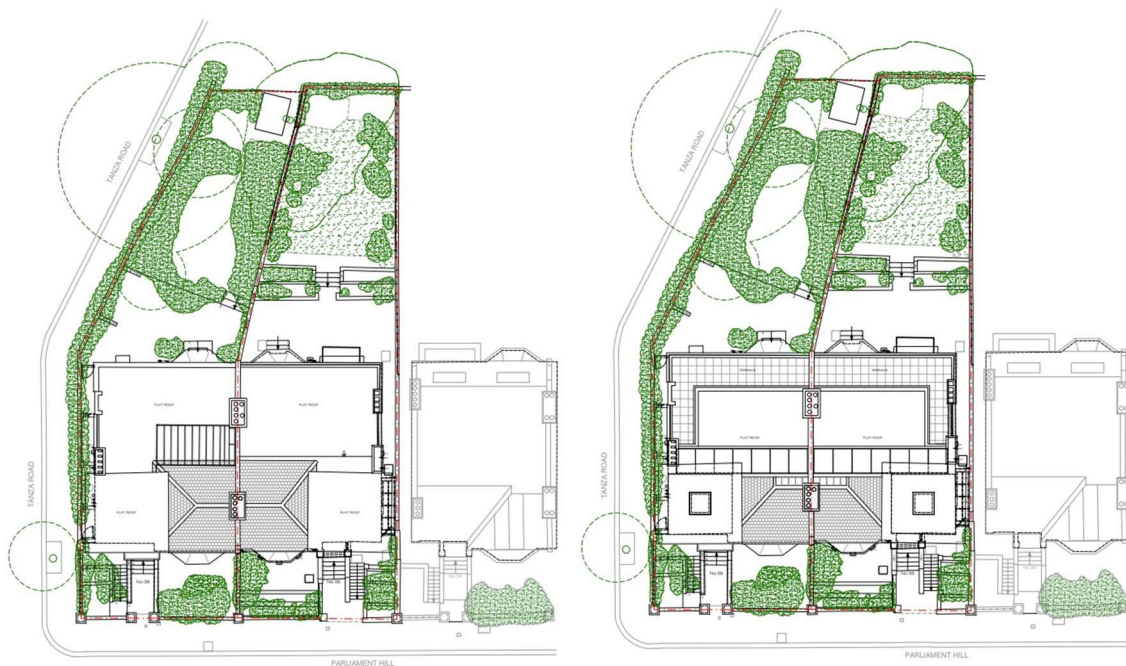




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Site location plan

3. 2025/3056/P  Camden

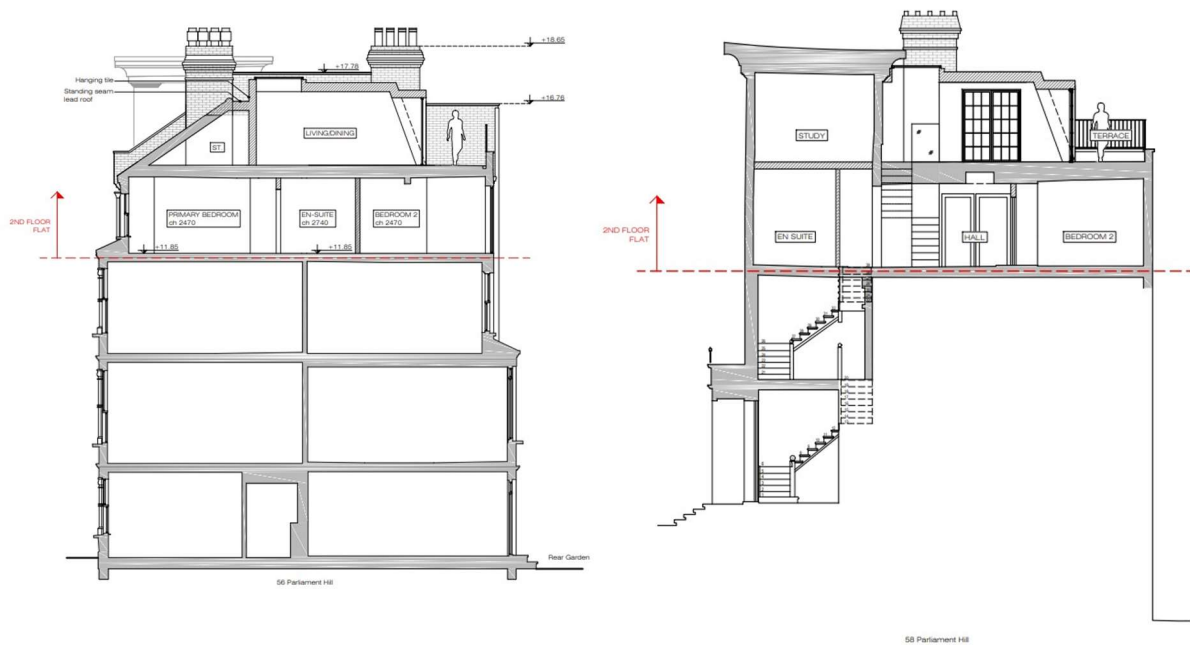
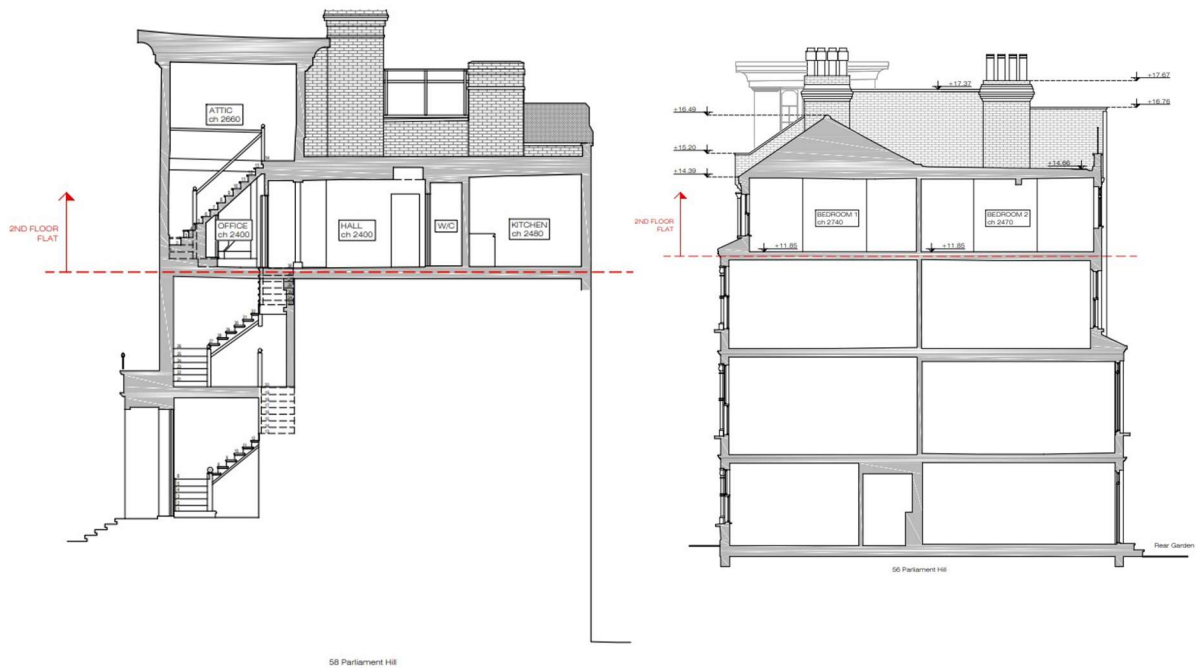


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Comparison of existing location (left) with  
proposed location (right)

4. 2025/3056/P

 Camden









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Street Photo from Parliament Hill

9. 2025/3056/P  Camden



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Street photo from Tanza Road

10. 2025/3056/P  Camden



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Street photo from Tanza Road

11. 2025/3056/P

 Camden

